



DEVELOPMENT PERMIT NO. DP001209

PROVINCIAL RENTAL HOUSING CORPORATION
Name of Owner(s) of Land (Permittee)

702 NICOL STREET
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

LOT A, SECTION 1, NANAIMO DISTRICT, PLAN 41876

PID No. 000-947-270

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Site and Parking Plans
Schedule C Building Elevations and Details
Schedule D Landscape Plan and Details
Schedule E Schedule D – Amenity Requirements for Additional Density

- a) If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 6.10.2 Fence Height* – to increase the maximum allowable fence height from 1.8m to 3.3m in the rear yard.
2. *Section 9.7.1 Size of Buildings* – to increase the maximum allowable building height from 14m to 15.6m.
3. *Section 17.1.1 Required Landscaping* – to reduce the minimum required landscape buffer width from 1.8m to 0m on the north and south side property lines.

The City of Nanaimo "Off-Street Parking Regulations Bylaw 2018 No. 7266" is varied as follows:

1. *Section 7.2 All Other Uses Parking Table* – to reduce the minimum required number of off-street parking spaces from 12 to 7.

CONDITIONS OF PERMIT

1. The subject property is developed generally in accordance with the Site and Parking Plans prepared by S2 Architecture and Design, dated 2021-FEB-10, as shown on Schedule B.
2. The development is in substantial compliance with the Building Elevations and Details prepared by S2 Architecture and Design, dated 2021-FEB-10, as shown on Schedule C.
3. The subject property is developed in substantial compliance with the Landscape Plan and Details prepared by WSP Landscape Architecture, dated 2021-FEB-10, as shown on Schedule D.
4. Prior to issuance of a building permit, the applicant must register a statutory Right-of-Way to allow for a public lane to be located on the property.

5. The subject property is developed in accordance with the 'Schedule D – Amenity Requirements for Additional Density' prepared by S2 Architecture and Design, received 2021-JAN-15, as shown on Schedule E, and is to include the following items:

- *A letter from the coordinating professional submitted prior to Building Permit issuance outlining how the required items for additional density will be achieved; and,*
- *A letter from the coordinating professional with accompanying evidence submitted prior to building occupancy demonstrating the required items have been provided.*

2.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 22ND DAY OF FEBRUARY, 2021.


Corporate Officer

2021-MAR-02
Date

LB/ln
Prospero attachment: DP001209

LOCATION PLAN



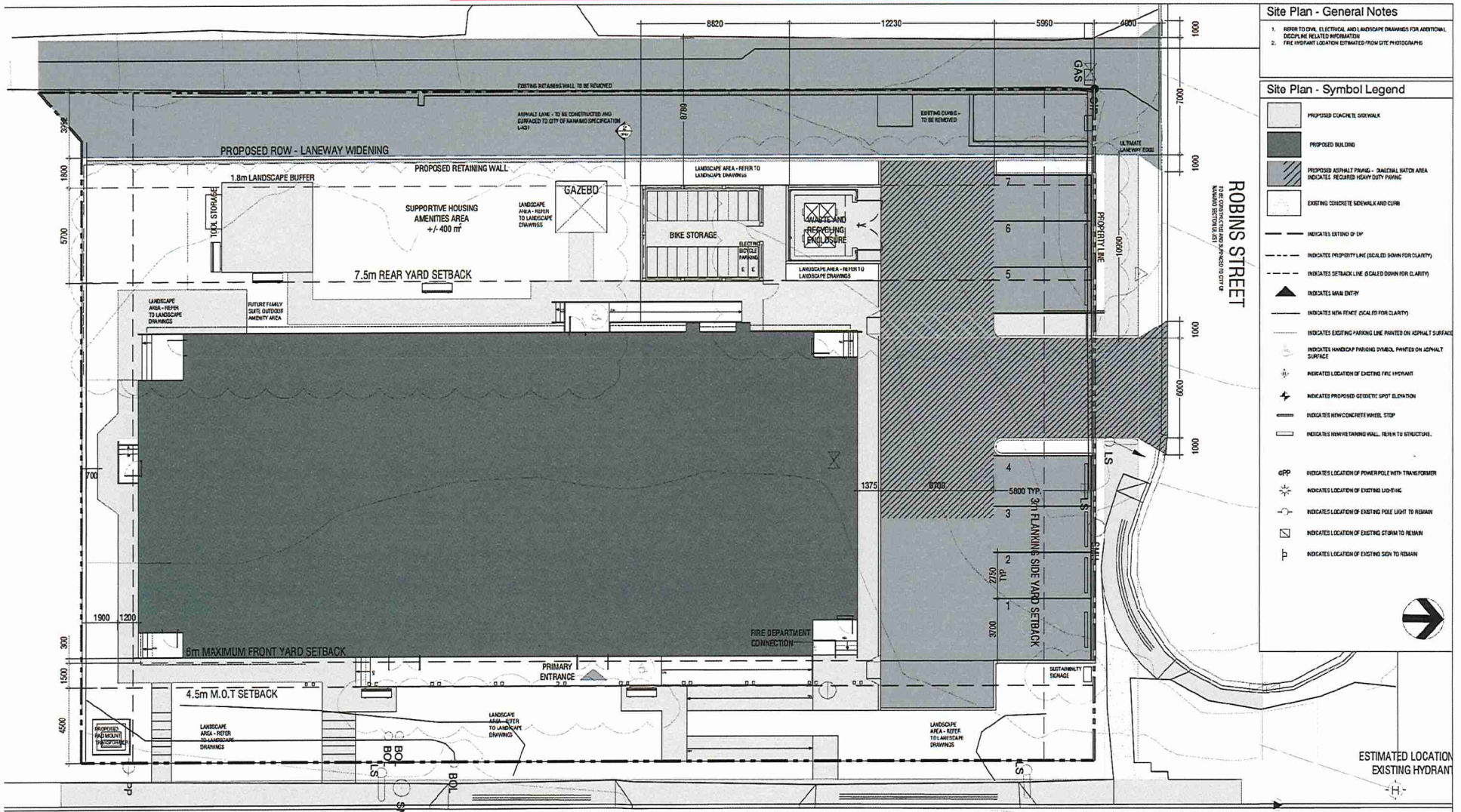
DEVELOPMENT PERMIT APPLICATION NO. DP001209

CIVIC: 702 NICOL STREET

LEGAL: LOT A, SECTION 1, NANAIMO DISTRICT, PLAN 41876



Subject Property



Site Plan - General Notes

- REFER TO CIVIL, ELECTRICAL AND LANDSCAPE DRAWINGS FOR ADDITIONAL DISCIPLINE RELATED INFORMATION
- THE HYDRANT LOCATION ESTIMATED FROM SITE PHOTOGRAPHS

Site Plan - Symbol Legend

- PROPOSED CONCRETE SIDEWALK
- PROPOSED BUILDING
- PROPOSED ASPHALT PAVING - DIAGONAL HATCH AREA INDICATES REQUIRED HEAVY DUTY PAVING
- EXISTING CONCRETE SIDEWALK AND CURB
- INDICATES EXISTING 6" SP
- INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
- INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
- INDICATES MAIN ENTRY
- INDICATES NEW FENCE (SCALE FOR CLARITY)
- INDICATES EXISTING PARKING LINE PRINTED ON ASPHALT SURFACE
- INDICATES HANDICAP PARKING SYMBOL, PRINTED ON ASPHALT SURFACE
- INDICATES LOCATION OF EXISTING FIRE HYDRANT
- INDICATES PROPOSED GEODETIC SPOT ELEVATION
- INDICATES NEW CONCRETE WHEEL STOP
- INDICATES NEW RETAINING WALL, REFER TO STRUCTURE.
- INDICATES LOCATION OF POWER POLE WITH TRANSFORMER
- INDICATES LOCATION OF EXISTING LIGHTING
- INDICATES LOCATION OF EXISTING POLE LIGHT TO REMAIN
- INDICATES LOCATION OF EXISTING STORM TO REMAIN
- INDICATES LOCATION OF EXISTING SIGN TO REMAIN

Site Plan
1:100

THESE DRAWINGS AND DESIGNS ARE THE SOLE PROPERTY OF HORIZON NORTH AND MAY NOT BE REPRODUCED OR SUBMITTED TO OUTSIDE PARTIES WITHOUT THE EXPRESSED WRITTEN CONSENT OF HORIZON NORTH

No.	Y	M	D	REVISION	BY	CHKD
1				PRELIMINARY		
2				REVISED		



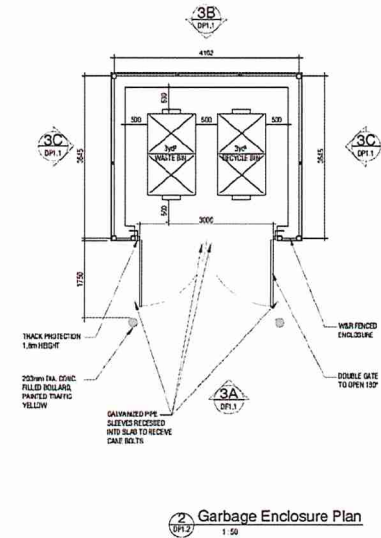
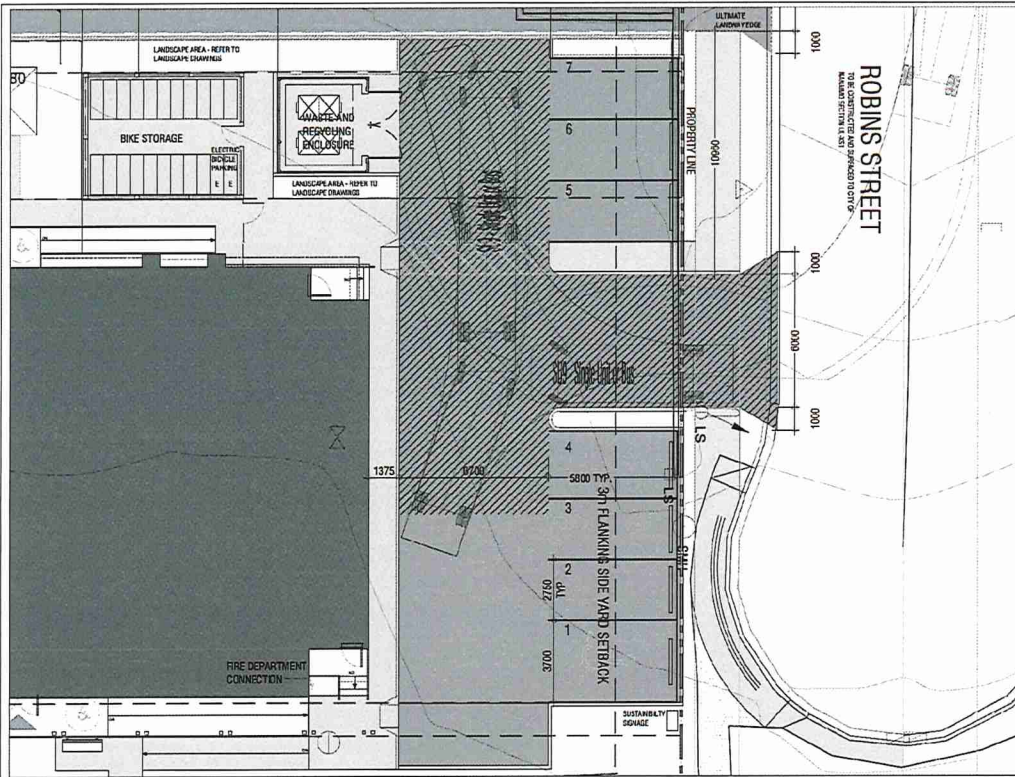
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DATE	2021-02-10
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BC HOUSING
 TRANSITIONAL HOUSING
 702 NICOL ST., NANIAMO, BC
 SITE PLAN

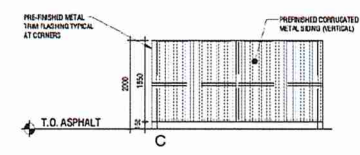
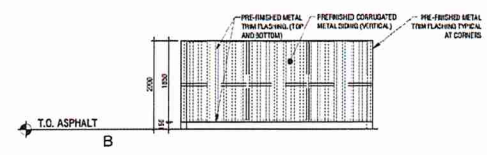
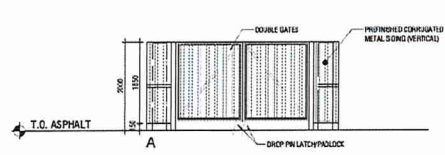
DWG No.:
DP1.0



2 Garbage Enclosure Plan
1:50



1 W&R Turning Radius
1:100



3 Garbage Enclosure Elevations
1:50

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No.	Y	M	D	REVISION	BY



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SCALE	AS SHOWN
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DATE	
SCALE	
UNIT	

BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANIAMO, BC
W&R TURNING RADIUS & DETAILS

DWG No: **DP1.2**

Development Permit No. DP001209 Schedule C
 702 Nicol Street
BUILDING ELEVATIONS AND DETAILS

Elevations - Code Legend

01	FIBRE CEMENT PANEL - ARCTIC WHITE	08	CANOPY - BOOTHBAY BLUE
02	FIBRE CEMENT PANEL - BOOTHBAY BLUE	09	STEEL DOORS - BOOTHBAY BLUE
03	FIBRE CEMENT PLANK SIDING - CEDARTONE	10	PVC WINDOW - BLACK
04	FLASHING - BOOTHBAY BLUE	11	METAL HANDRAIL/GUARD - BLACK
05	P.T. WOOD RAMP	12	6x6 TIMBER COLUMNS
06	P.T. WOOD STAIRS		
07	CANOPY - ARCTIC WHITE		



1 EAST ELEVATION
 DP3 SCALE: 3/8" = 1'-0"

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DATE: 2021-02-10
TIME: 11:00
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DATE: 2021-02-10
TIME: 11:00
SCALE: AS SHOWN

BC HOUSING
 TRANSITIONAL HOUSING
 702 NICOL ST., NANIAMO, BC
 EAST ELEVATION

DWG No.: **DP3.0**

Elevations - Code Legend	
01	FIBRE CEMENT PANEL - ARCTIC WHITE
02	FIBRE CEMENT PANEL - BOOTHBAY BLUE
03	FIBRE CEMENT PLANK SIDING - CEDARTONE
04	FLASHING - BOOTHBAY BLUE
05	P.T. WOOD RAMP
06	P.T. WOOD STAIRS
07	CANOPY - ARCTIC WHITE
08	CANOPY - BOOTHBAY BLUE
09	STEEL DOORS - BOOTHBAY BLUE
10	PVC WINDOW - BLACK
11	METAL HANDRAIL/GUARD - BLACK
12	6x6 TIMBER COLUMNS



1 NORTH ELEVATION
 P32 / SCALE: 3/8" = 1'-0"

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No.	Y	M	D	REVISION	BY	CHKD



DATE: 2021.02
SCALE: 3/8" = 1'-0"
DATE: 2021.02
DATE: 2021.02
DATE: 2021.02

BC HOUSING
TRANSITIONAL HOUSING
 702 NICOL ST., NANIAMO, BC
 NORTH ELEVATION

DWG No:
DP3.1

Elevations - Code Legend	
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02	FIBRE CEMENT PANEL - BOOTHBAY BLUE
03	FIBRE CEMENT FLANK SIDING - CEDARTONE
04	FLASHING - BOOTHBAY BLUE
05	P.T. WOOD RAMP
06	P.T. WOOD STAIRS
07	CANOPY - ARCTIC WHITE
08	CANOPY - BOOTHBAY BLUE
09	STEEL DOORS - BOOTHBAY BLUE
10	PVC WINDOW - BLACK
11	METAL HANDRAIL/GUARD - BLACK
12	6x6 TIMBER COLUMNS



PROPOSED BUILDING HEIGHT VARIANCE

45'-11 1/4" (4400)

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LIVESTRONG BC

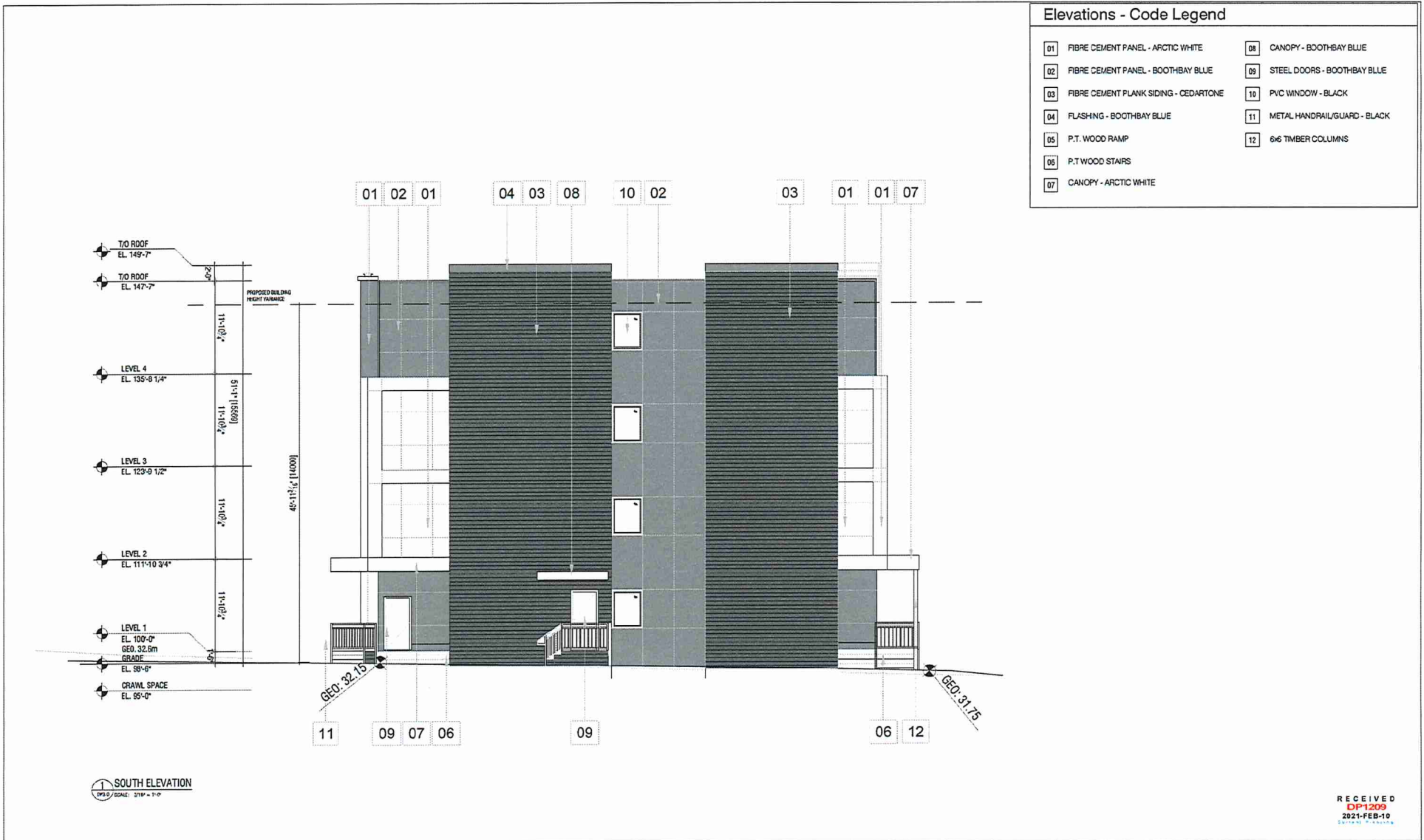
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BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANIAMO, BC
WEST ELEVATION

DWG No.: **DP3.2**



Elevations - Code Legend

01	FIBRE CEMENT PANEL - ARCTIC WHITE	08	CANOPY - BOOTHBAY BLUE
02	FIBRE CEMENT PANEL - BOOTHBAY BLUE	09	STEEL DOORS - BOOTHBAY BLUE
03	FIBRE CEMENT PLANK SIDING - CEDARTONE	10	PVC WINDOW - BLACK
04	FLASHING - BOOTHBAY BLUE	11	METAL HANDRAIL/GUARD - BLACK
05	P.T. WOOD RAMP	12	6x6 TIMBER COLUMNS
06	P.T. WOOD STAIRS		
07	CANOPY - ARCTIC WHITE		

1 SOUTH ELEVATION
PROJ. SCALE: 3/8" = 1'-0"

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CITY OF VANCOUVER

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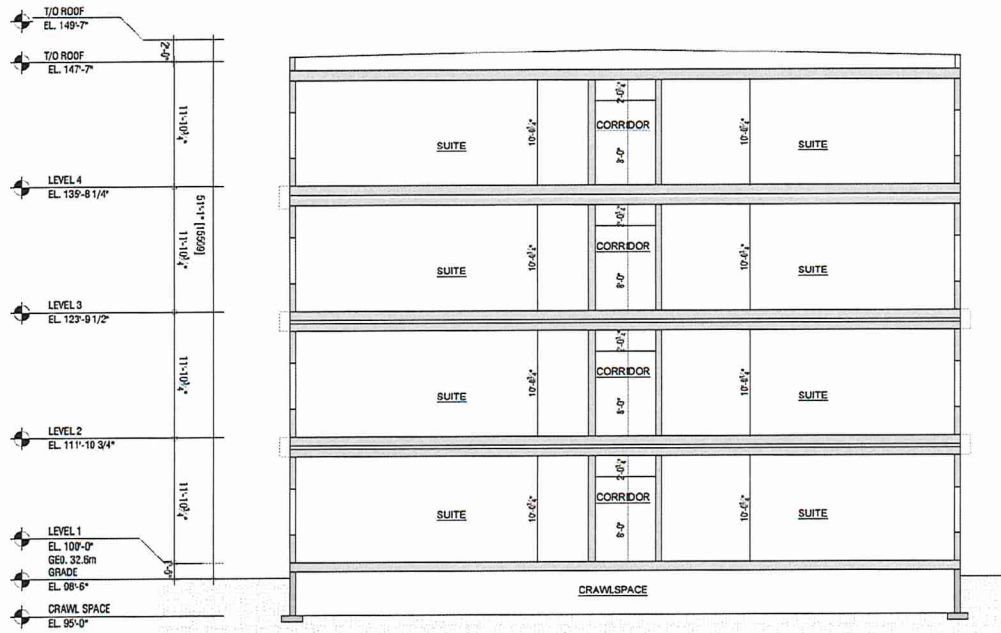


PROJ. #	2021-07
TITLE	
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REVISION	

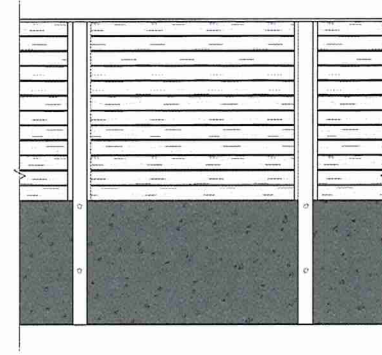
BC HOUSING
TRANSITIONAL HOUSING
 702 NICOL ST., NANIAMO, BC
 SOUTH ELEVATION

DWG No.: **DP3.3**

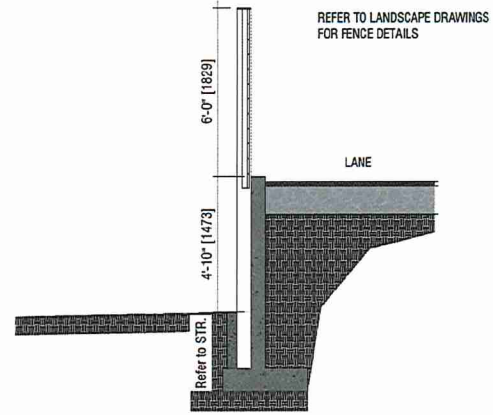
Building and Retaining Wall Sections



1 SECTION
EPG / SCALE: 3/8" = 1'-0"



2 RETAINING WALL / FENCE ELEVATION
EPG / SCALE: 1/2" = 1'-0"



3 RETAINING WALL / FENCE SECTION
EPG / SCALE: 1/2" = 1'-0"

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Central Planning

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No.	Y	M	D	REVISION	BY	CHKD



DATE:	2021.02.10
SCALE:	AS SHOWN
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BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANIAMO, BC
SECTION

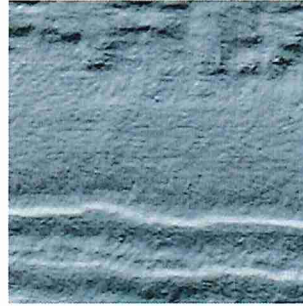
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Building Rendering and Exterior Materials

MATERIAL BOARD



1. Fibre Cement Panel White



2. Fibre Cement Panel Boothbay Blue



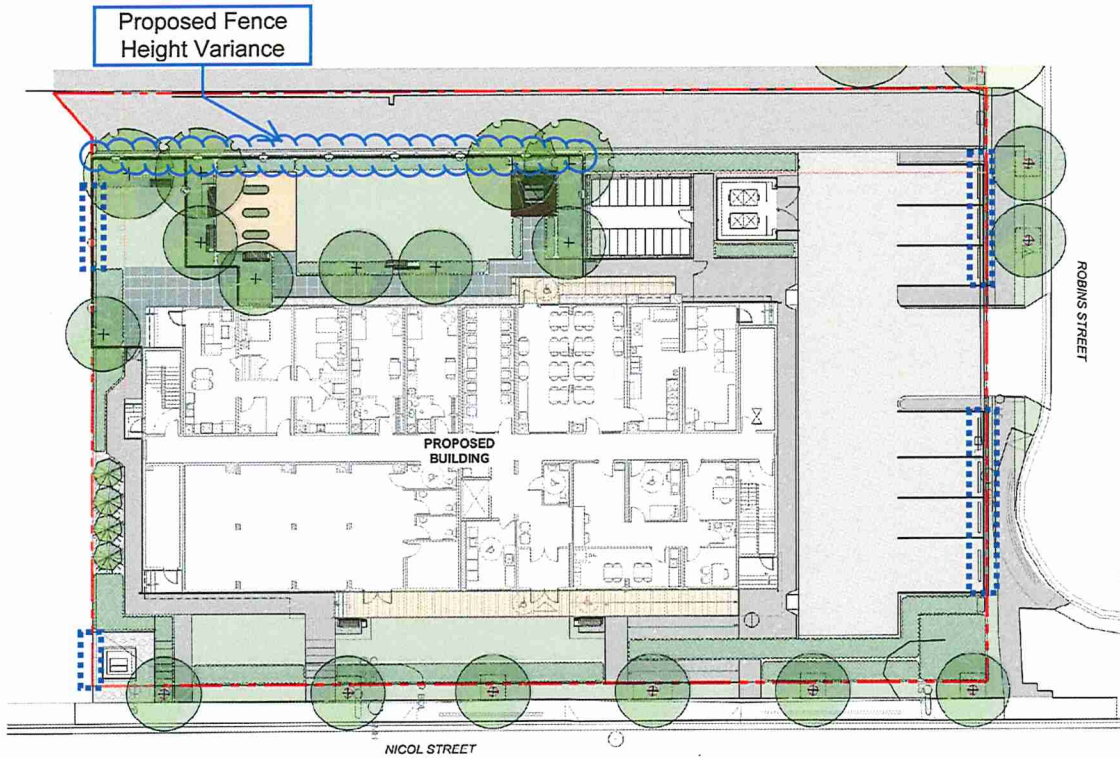
3. Fibre Cement Plank Siding Wood Look



Renderings provided by S2 Architecture.
Renderings are artistic representations and are subject to change.



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2021-JAN-18
CURRENT PLANNING



BCH NICOL STREET

702 Nicol Street, Nanaimo, B.C.

ISSUED FOR REVISED DEVELOPMENT PERMIT

DRAWING LIST

L-00	COVER
L-01	EXISTING CONDITIONS & TREE MANAGEMENT PLAN
L-02	LANDSCAPE PLAN
L-03	PLANTING PLAN
L-04	DETAILS
L-05	DETAILS
L-06	DETAILS
L-07	DETAILS

WSP LANDSCAPE ARCHITECTURE

Michael Holm
 Senior Project Manager
 Email: michael.holm@wsp.com
 Phone: (604) 631-9637

Lisa Ng
 Landscape Designer
 Email: lisa.ng@wsp.com
 Phone: (604) 601-6836

= Proposed Landscape Buffer Variance locations

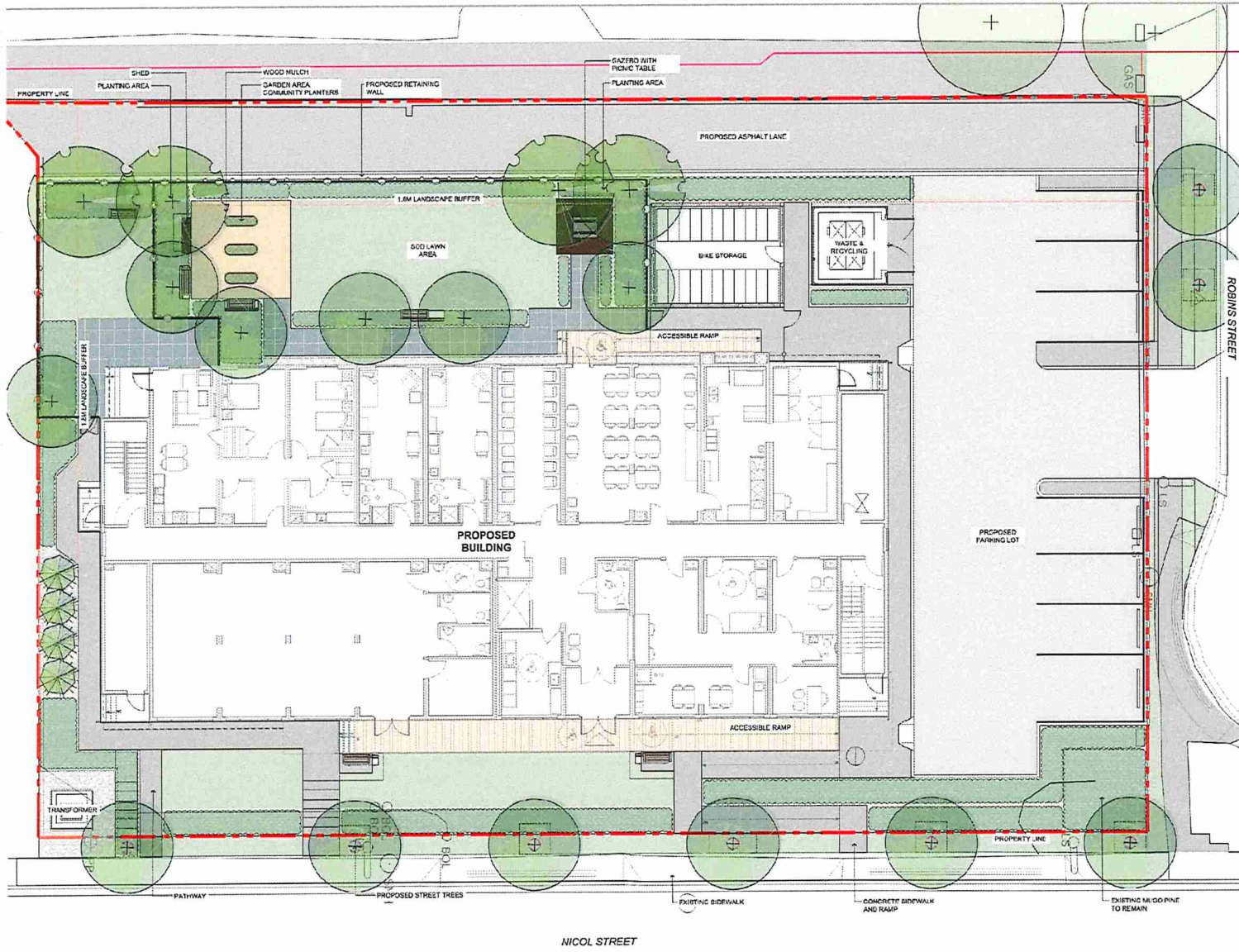
LANDSCAPE

GENERAL NOTES

- Landscape installation to be compliant with Canadian Landscape Standards (full documents apply). It is expected that Landscape Traces will have a current copy of the document (digital or hardcopy) present with them on site at all times.
- Questions (RFI) pertaining to landscape to be immediately submitted to Contract Administrator for clarification whom will contact Landscape Architect for response.
- All planting areas to have an water efficient irrigation system provided by contractor, system details to be provided by irrigation designer or contractor.
- Summers on landscape include but are not limited to:
 - Final drawings on all specified furnishings including notes on colour and dimensions
 - Shop drawings on all custom site elements
 - A soil report submitted (compliant with "Level 2" for shrub/tree plantings) in accordance with the Canadian Landscape Standard
 - A request for the Landscape Architect to pre review materials for the project at the nursery in advance of delivery to site. From that the Landscape Architect requires this process for reviews to occur immediately upon award as to prevent issues with delivery. If questions of a stock or tree size required, prompts will be reviewed as an estimate. Note that all landscape stock is to be sourced from the Pacific Northwest (BC, Washington, Oregon). The contractor will be expected to prove an exhaustive search was provided in sourcing material before alternate of plant material are considered.
 - Bark mulch to be organic composted mulch, compliant with Canadian Landscape Standards (dark brown colour), quantity to be provided or website information prior to purchase.
 - Unit cavities and hard-surface materials to be submitted for verification on colour, size and pattern.
 - Compassion testing of base preparation (80% MPD)
- Landscape critical review meetings include (but are not limited to):
 - The pre-qualification setup requires a review by the architect prior to construction.
 - Project kick-off on landscape, and review of landscape preservation of existing materials.
 - Installation of soils and forming works (requires furnishings to be reviewed after delivery to site to ensure for damaged), then that soils may be tested (per 2) crew for verification of compliance of soil to the Contractor's soil, if material is suspected to be non-compliant. See notes above on suitability.
 - Installation of custom work (i.e. wooden walkway or bench), if applicable in contract, will be required for a critical review meeting of proposed layout and connections.
 - Delivery of the plant material to site (installation of planting works)
 - 1 additional on-site planting review
 - Substantial review of the landscape (site cleanup to be complete prior to calling for review)
 - Final performance of the landscape
 - Installation of artwork
- Landscape Maintenance to be provided complete through substantial completion and until all deficiencies are amended. Maintenance to be compliant with "Level 2" (weeds no larger than 2" diameter) in accordance with Canadian Landscape Standards.
- Establishment watering to be compliant with Canadian Landscape Standards. Landscapes to be maintained at 75% moisture content availability in soils; as defined in "Establishment Watering" requirements of the Canadian Landscape Standard. Ensure landscape is watered adequately to prevent drought to plant health prior to use of irrigation system. If a water but is in place within the city, Contract Administrator.
- Warranty on all landscape to be 1 year, unless noted otherwise.
- All landscape and irrigation works to be constructed as per the City of Nanaimo standard details. Refer to - LIB/SS - Section 14 Landscape.

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 CIVIL PLANNING

<p>LANDSCAPE ARCHITECTURE CONSULTING PLANNING ENGINEERING 615 - BURNHAM STREET NANAIMO BC V9T 2N6</p>	PROJECT BCH 702 NICOL STREET NANAIMO, B.C.		ORIGINAL DATE: 01/20/2021 BY: MICHAEL HOLM	DESIGNED BY: NH DRAWN BY: NH CHECKED BY: NH PROJECT #: 2021-024-D0 SCALE:	NO. SHEET TITLE 14 COVER SHEET NO.
	CLIENT: BC HOUSING CONSULTANT: WSP		REVISED FOR REVISED DEVELOPMENT PERMIT 02/04/2021 BY: MICHAEL HOLM	NO. SHEET NO. 14 L-00	



SOFTSCAPE LEGEND

	PROPOSED TREES Minimum 600mm depth growing medium, comply with mulch. Refer to details. Installed as per Canadian Landscape Standards.
	SHRUB PLANTING Minimum 400mm import growing medium complete with mulch. Refer to details. Installed as per Canadian Landscape Standards.
	LAWN Minimum 150mm import growing medium. Refer to details.
	TREE PIT OUTLINE Location of tree pit as shown on plan. Refer to detail.
	GREENWELL WATER SAVER Large size GreenWell Water Saver, 250mm height x 600mm Ø top x 120mm Ø bottom. Refer to site for more information. https://greenwellwatersavers.com/home-greenwell-information-large-size/

HARDSCAPE LEGEND

	CONCRETE Pedestrian rated access - 100mm thick
	GRAVEL Refer to detail for aggregate size and thickness.
	UNIT PAVERS Refer to detail for aggregate size and thickness.
	WOOD CHIP At 100mm depth with filter fabric.

SITE FURNISHING LEGEND

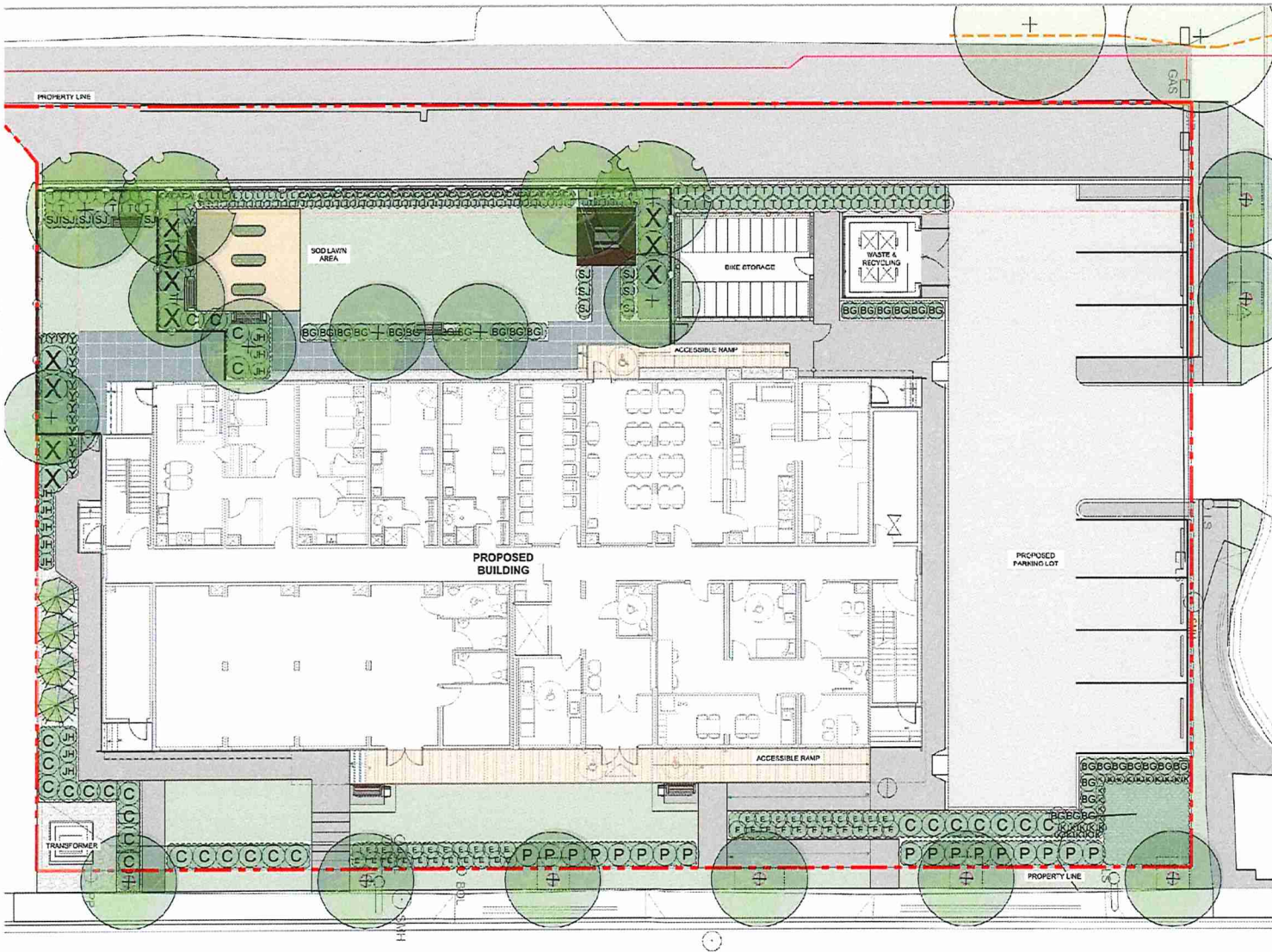
	BAYVIEW PARK BENCH Type: BV-6 Size: 750W x 200D x 375H Supplier: Washburn Site Furnishings Installation: Bolt mounted, install as per manufacturer's specifications.
	RUTHERFORD PICNIC TABLE Type: RPT-6, wheelchair accessible Size: 1700W x 600D x 300H Supplier: Washburn Site Furnishings Installation: Bolt mounted, install as per manufacturer's specifications.
	PROPOSED 1.8m HIGH WOOD FENCE AND GATES Provide steep clearing of fence prior to fabrication. Refer to detail.
	GAZERO Refer to detail for product specifications and notes.
	SHED Detail to be provided.
	COMMUNITY PLANTER Refer to detail and install in accordance with manufacturer's specifications. Provide shop drawing submitted to verify product and finishes prior to purchase (30%).

NOTE: REFER TO CIVIL DRAWINGS FOR ALL GRADING INFORMATION

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 2021-FEB-10

 LANDSCAPE ARCHITECTURE CONSULTING ENGINEERING 3075, SUITE 401-101 STREET, VANCOUVER, BC, CANADA	PROJECT: BCH 702 NICOL STREET NANAIMO, B.C.	ORIGINAL SIZE: 430MM W x 590MM H (20" x 35") SCALE: 1:100 DATE: 2021-02-10 DRAWN BY: EN CHECKED BY: EP PROJECT #: 204-07-01-02 SCALE: 1:100	SHEET TITLE: LANDSCAPE PLAN SHEET NO.: L-02
	CLIENT: BC HOUSING CONSULTANT: WSP		



TREE SCHEDULE

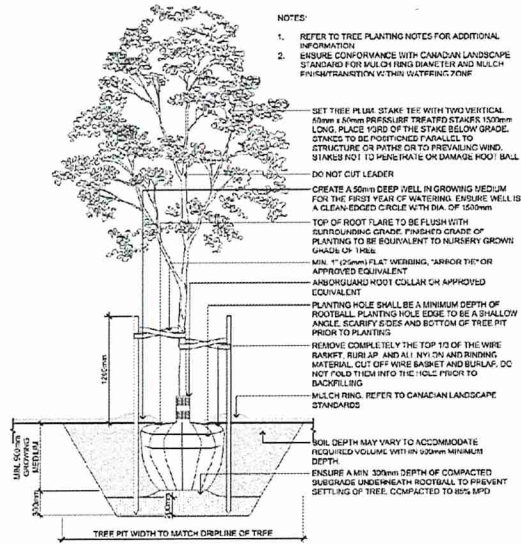
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
+	7	Quercus rubra	Red oak	85x8, 8cm cal., 1.6m H standard	As shown
+	5	Pinus monmilla	Western white pine	85x8, 8cm cal., 1.6m H standard	As shown
+	17	Pinus sylvatica 'Yoncan'	Japanese foresting larch	85x8, 8cm cal., 1.6m H standard	As shown

SHRUB SCHEDULE

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
Y	19	Achillea millefolium 'Desert Eve Yellow'	'Desert Eve' yellow yarrow	#2 Pot, full	800mm o.c.
K	24	Arctostaphylos uva-ursi	Kinnikinnick	#2 Pot, full	800mm o.c.
BC	29	Dryas 'Green Velvet'	'Green Velvet' bearroot	#2 Pot, full	500mm o.c.
CA	77	Clematis amandii	Flowering clematis	#2 Pot, full	500mm o.c.
E	42	Eryngium yuccifolium	Winged burning bush	#2 Pot, full	1200mm o.c.
J	51	Eustoma japonicum 'Paloma Blanca'	'Paloma Blanca' eustoma	#2 Pot, full	450mm o.c.
JH	11	Juniperus horizontalis	Creeping juniper	#2 Pot, full	2000mm o.c.
C	27	Juniperus savin	Savin juniper	#2 Pot, full	1200mm o.c.
L	14	Lesqueria 'Mandarin'	'Mandarin' helleborine	#2 Pot, full	800mm o.c.
P	17	Potentilla fruticosa 'Goldfinger'	'Goldfinger' potentilla	#2 Pot, full	1200mm o.c.
X	11	Salix purpurea	Arctic willow	#2 Pot, full	1500mm o.c.
SJ	11	Sorbus japonica 'Goldmountain'	'Goldmountain' spirea	#2 Pot, full	800mm o.c.
T	47	Taxus x media 'Mill'	'Mill' yew	#2 Pot, full	600mm o.c.

- PLANTING NOTES:**
- All work of the contractor shall meet or exceed all standards and specifications established in the latest edition of the Canadian Landscape Standard.
 - All plant material must be certified to be free of southern oak death (phytophthora ramorum), according to the Canadian Food Inspection Agency (CFIA) or C.S.L.A. standards. Plant material to be made available for on-site inspection by the Contract Administrator at the source of supply.
 - The contractor shall provide a (1) year replacement warranty on all plant material to the owner from the date of substantial completion.
 - The quantities shown on the plan shall take precedence over the quantities shown on the plant list. The contractor shall notify the Contract Administrator of any discrepancies prior to ordering and installing plant material.
 - The contractor shall not substitute plant material or products without written consent of the Contract Administrator. The contractor shall be responsible for the removal and replacement of any unsatisfactory substitutions.
 - Arrange plants in containers for consultant's review and approval of placement prior to installation.
 - All trees are to be planted with trunk base at finished grade to match original survey grade, contractor is to obtain consultant's approval of this tree depth prior to placement of finished material. Tree placed at improper depth and without final approval may be subject to removal at contractor's expense.
 - Growing medium shall meet the following Canadian Landscape Standard:
 - Planting beds:
 - The contractor shall provide a soil sample and test to the contract administrator demonstrating that the growing medium meets these specifications prior to delivery to the site. The contractor will be responsible for the removal and replacement of any unsatisfactory soil specification growing medium at their own expense.
 - Placement - The contractor shall place the growing medium at the following minimum depths:
 - Trees: 500mm
 - Planting beds: 450mm
 - Contractor shall supply and place compacted bark mulch 50mm deep. Mulch is not to bury tree trunk flare. Accommodate for mulch depth when planting trees. Sample of mulch to be provided to consultant for approval prior to placement.

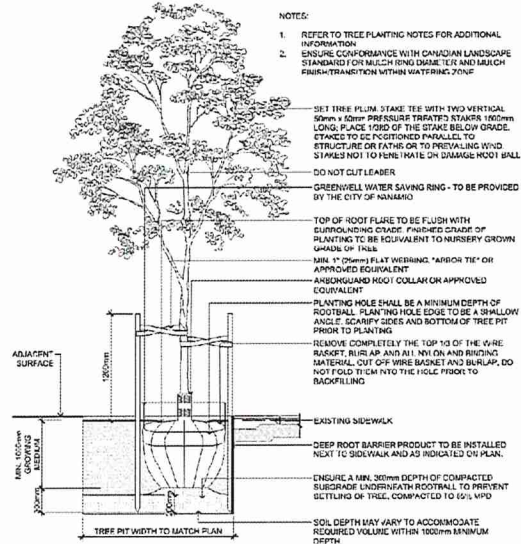
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NOTES:

- REFER TO TREE PLANTING NOTES FOR ADDITIONAL INFORMATION
- ENSURE CONFORMANCE WITH CANADIAN LANDSCAPE STANDARD FOR MULCH RING DIAMETER AND MULCH FROM TRANSITION WITH WATERING ZONE
- SET THREE PLUM STAKE TIES WITH TWO VERTICAL 10mm x 10mm PRESSURE TREATED STAKES 1500mm LONG. PLACE 1/3RD OF THE STAKE BELOW GRADE. STAKES TO BE POSITIONED PARALLEL TO STRUCTURE OR PATH OR TO PREVAILING WIND. STAKES NOT TO PENETRATE OR DAMAGE ROOT BALL.
- DO NOT CUT LEADER
- CREATE A 50mm DEEP WELL IN GROWING MEDIUM FOR THE FIRST YEAR OF WATERING. EXPOSE WELL IS A CLEAN-EDGED CIRCLE WITH DIA. OF 1500mm
- TOP OF ROOT FLARE TO BE FLUSH WITH SURROUNDING GRADE. FINISHED GRADE OF PLANTING TO BE EQUIVALENT TO NURSERY GROWN GRADE OF TREE
- MIN. 1" (25mm) FLAT WEBBING, "ARION TIE" OR APPROVED EQUIVALENT
- ANGUARD HOOT COLLAR OR APPROVED EQUIVALENT
- PLANTING HOLE SHALL BE A MINIMUM DEPTH OF ROOTBALL. PLANTING HOLE EDGE TO BE A SHALLOW ANGLE. SCARIFY SIDES AND BOTTOM OF TREE PIT PRIOR TO PLANTING
- REMOVE COMPLETELY THE TOP 1/3 OF THE WIRE BASKET, RUB RAP AND ALL NYLON AND BINDING MATERIAL. CUT OFF WIRE BASKET AND BURLAP. DO NOT FOLD THEM INTO THE HOLE PRIOR TO BACKFILLING
- MULCH RING. REFER TO CANADIAN LANDSCAPE STANDARDS
- SOIL DEPTH MAY VARY TO ACCOMMODATE REQUIRED VOLUME WITHIN 300mm MINIMUM DEPTH
- ENSURE A MIN. 300mm DEPTH OF COMPACTED SUBGRADE UNDERNEATH ROOTBALL TO PREVENT SETTLING OF TREE. COMPACTED TO 95% MPD

1 TREE PLANTING
L-04 / SCALE: 1:25



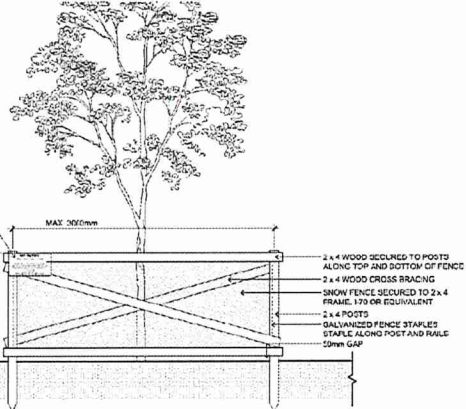
NOTES:

- REFER TO TREE PLANTING NOTES FOR ADDITIONAL INFORMATION
- ENSURE CONFORMANCE WITH CANADIAN LANDSCAPE STANDARD FOR MULCH RING DIAMETER AND MULCH FROM TRANSITION WITH WATERING ZONE
- SET THREE PLUM STAKE TIES WITH TWO VERTICAL 10mm x 10mm PRESSURE TREATED STAKES 1500mm LONG. PLACE 1/3RD OF THE STAKE BELOW GRADE. STAKES TO BE POSITIONED PARALLEL TO STRUCTURE OR PATH OR TO PREVAILING WIND. STAKES NOT TO PENETRATE OR DAMAGE ROOT BALL.
- DO NOT CUT LEADER
- GREENWELL WATER SAVING RING - TO BE PROVIDED BY THE CITY OF NANAIMO
- TOP OF ROOT FLARE TO BE FLUSH WITH SURROUNDING GRADE. FINISHED GRADE OF PLANTING TO BE EQUIVALENT TO NURSERY GROWN GRADE OF TREE
- MIN. 1" (25mm) FLAT WEBBING, "ARION TIE" OR APPROVED EQUIVALENT
- ANGUARD HOOT COLLAR OR APPROVED EQUIVALENT
- PLANTING HOLE SHALL BE A MINIMUM DEPTH OF ROOTBALL. PLANTING HOLE EDGE TO BE A SHALLOW ANGLE. SCARIFY SIDES AND BOTTOM OF TREE PIT PRIOR TO PLANTING
- REMOVE COMPLETELY THE TOP 1/3 OF THE WIRE BASKET, RUB RAP AND ALL NYLON AND BINDING MATERIAL. CUT OFF WIRE BASKET AND BURLAP. DO NOT FOLD THEM INTO THE HOLE PRIOR TO BACKFILLING
- EXISTING SIDEWALK
- DEEP ROOT BARRIER PRODUCT TO BE INSTALLED NEXT TO SIDEWALK AND AS INDICATED ON PLAN.
- ENSURE A MIN. 300mm DEPTH OF COMPACTED SUBGRADE UNDERNEATH ROOTBALL TO PREVENT SETTLING OF TREE. COMPACTED TO 95% MPD
- SOIL DEPTH MAY VARY TO ACCOMMODATE REQUIRED VOLUME WITHIN 1000mm MINIMUM DEPTH

2 TREE PLANTING ADJACENT TO SIDEWALK
L-04 / SCALE: 1:25

TREE PROTECTION DISTANCE TABLE

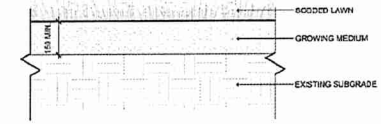
TRUNK DIAMETER		MIN. DISTANCE FROM TRUNK (METERS)
CM	FT	
20	0.6	1.2
25	0.8	1.6
30	1.0	2.1
40	1.2	2.4
49	1.3	2.7
65	1.6	3.0
55	1.7	3.3
65	2.0	3.6
75	2.5	4.3
90	3.0	5.0
100	3.3	6.0



- SIGNAGE TO BE POSTED ON TREE PROTECTION FENCE EVERY 6M. WEATHER PROOF TAGS REFER TO CITY TREE PROTECTION REQUIREMENTS FOR DETAIL INFORMATION TO BE INCLUDED IN SIGN.
- 2 x 4 WOOD DECLINED TO POSTS ALONG TOP AND BOTTOM OF FENCE
 - 2 x 4 WOOD CROSS BRACING
 - SNOW FENCE SECURED TO 2 x 4 FRAME, 150mm EQUIVALENT
 - 2 x 4 POSTS
 - GALVANIZED FENCE STAPLES STAPLE ALONG POST AND RAIL
 - 50mm GAP

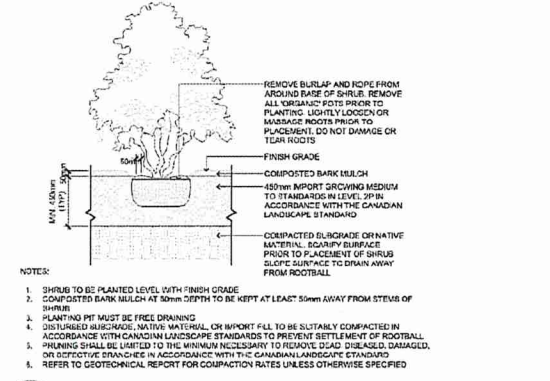
- NOTES:
- PROTECTION FENCE TO BE LOCATED AT CROWN DIAPHRAGM OR ADJACENT TO HARD SURFACE, WHICH EVER IS GRADUAL OR AT A DISTANCE SPECIFIED BY THE CITY AND/OR ST.
 - MANUALLY EXCAVATE AND CUT TREE ROOTS WITHIN 1.0m OF THE TREE PROTECTION FENCING
 - MACHINERY AND STORAGE IS NOT PERMITTED WITHIN 1.0m OF THE TREE PROTECTION AREA
 - ENSURE CONFORMANCE OF PROTECTION FENCING AND APPROVALS COMPLY WITH CITY'S TREE PROTECTION BYLAW

3 TREE PROTECTION
L-04 / SCALE: 1:25



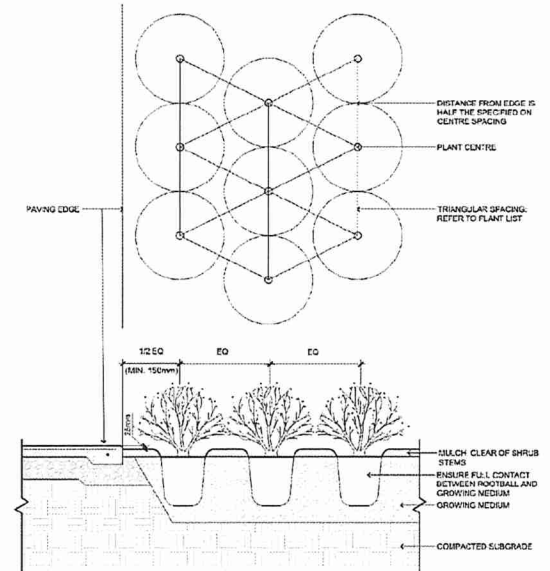
- NOTE: ALL LAWN TO BE SEED IN TWO DIRECTIONS AT 90° FROM EACH OTHER.

4 SOD
L-04 / SCALE: 1:10



- NOTES:
- SHRUB TO BE PLANTED LEVEL WITH FINISH GRADE
 - COMPACTED BARK MULCH AT 30mm DEPTH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS OF SHRUB
 - PLANTING PIT MUST BE FREE DRAINING
 - DISTURBED SIDEWALK, MATING MATERIAL OR IMPACT FILL TO BE SUITABLY COMPACTED IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARDS TO PREVENT SETTLEMENT OF ROOTBALL
 - PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD, DISEASED, DAMAGED, OR DEFECTIVE BRANCHES IN ACCORDANCE WITH THE CANADIAN LANDSCAPE STANDARD
 - REFER TO GEOTECHNICAL REPORT FOR COMPACTION RATES UNLESS OTHERWISE SPECIFIED

5 SHRUB PLANTING DETAIL
L-04 / SCALE: 1:20

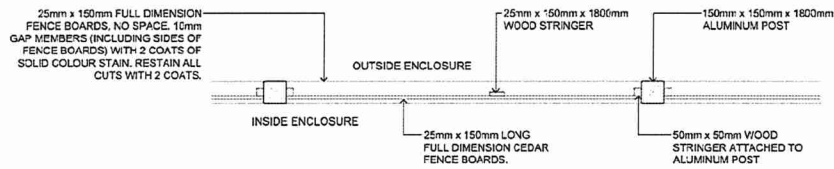
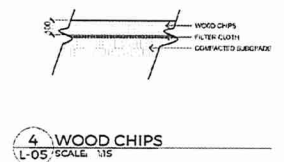
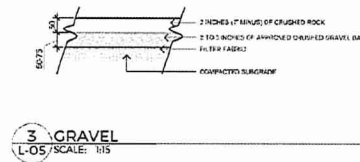
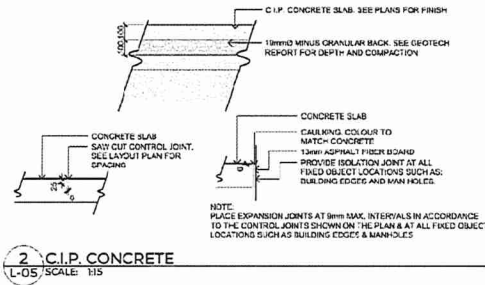
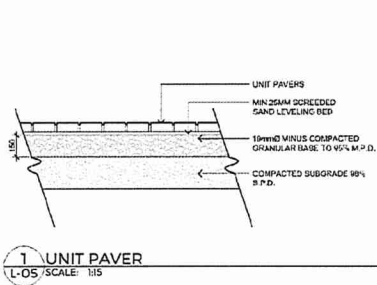


- NOTES:
- REFER TO CANADIAN LANDSCAPE STANDARD FOR COMPACTION AND PREPARATION REQUIREMENTS FOR PLANTING BEDS
 - REFER TO TYPICAL SHRUB PLANTING DETAILS FOR INFORMATION ON MULCH AND GROWING MEDIUM
 - ENSURE MATURE SHRUB FORM WILL NOT OVERHANG WALKWAY
 - COMPACTION RATE TO BE 95% MPD UNLESS OTHERWISE SPECIFIED IN GEOTECHNICAL REPORT

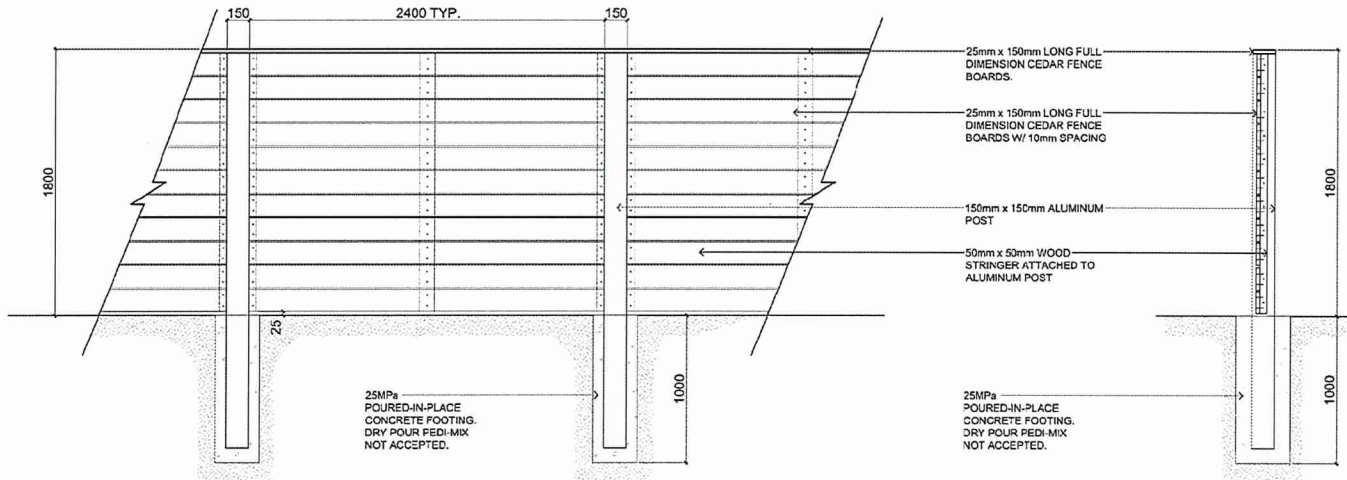
6 SHRUB SPACING DETAIL
L-04 / SCALE: 1:15

	PROJECT: BCH 702 NICOL STREET NANAIMO, B.C.	ORIGINAL SIZE: 40 mm x 60 mm (24" x 36")	SCALE:	DESIGNED BY:	SHEET TITLE:
	CLIENT: BC HOUSING	CONSULTANT: WSP	NO. DATE	REVISED FOR DEVELOPMENT PERMIT	DRAWN BY:

RECEIVED
EXP 1209
2021-FEB-19



- NOTE:**
1. ALL HARDWARE TO BE GALVANIZED.
 2. ALL STAIN TO BE A SEMI-TRANSPARENT BEHR WOOD STAIN OR APPROVED ALTERNATE. APPLY 2 COATS AS PER MANUFACTURERS SPECIFICATIONS. COLOUR TO BE CEDAR NATURAL TONE SEMI-TRANSPARENT OR APPROVED ALTERNATE. STAIN BOARDS ALL FOUR SIDES PRIOR TO CONSTRUCTION.
 3. REFER TO PLAN FOR FENCING LAYOUT.



5 WOOD FENCE
L-05 / SCALE: 1/15

RECEIVED
DP1209
2021-FEB-10

<p>LANDSCAPE ARCHITECTURE & PLANNING INC. 100-1000 UNIVERSITY STREET, VANCOUVER, BC V6P 1G8</p>	<p>PROJECT BCH 702 NICOL STREET NANAIMO, B.C.</p> <p>CLIENT SC HOUSING</p> <p>CONSULTANT WSP</p>	<p>ORIGINAL SIZE 60 HEIGHT x 90 WIDTH (24" x 36")</p>	<p>SCALE</p>	<p>DESIGN BY: MH</p> <p>DRAWN BY: ST</p> <p>CHECKED BY: SF</p> <p>PROJECT #: 2016-0211-00</p> <p>SCALE: AS SHOWN</p>	<p>SHEET TITLE</p> <p>DETAILS</p> <p>SHEET NO.</p> <p>L-05</p>									
		<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>2021/02/10</td> <td>ISSUED FOR REVISED DEVELOPMENT PERMIT</td> <td>MH</td> </tr> <tr> <td>0</td> <td>2020/02/25</td> <td>ISSUED FOR DEVELOPMENT PERMIT</td> <td>MH</td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	BY	1	2021/02/10	ISSUED FOR REVISED DEVELOPMENT PERMIT	MH	0	2020/02/25	ISSUED FOR DEVELOPMENT PERMIT	MH
NO.	DATE	DESCRIPTION	BY											
1	2021/02/10	ISSUED FOR REVISED DEVELOPMENT PERMIT	MH											
0	2020/02/25	ISSUED FOR DEVELOPMENT PERMIT	MH											

66 — Ach

SCHEDULE D - AMENITY REQUIREMENTS FOR ADDITIONAL DENSITY

Schedule 1t

Schedule D

Amenity Requirements for Additional Density

In order for a development to include the additional Tier 1 density provided for within this Bylaw, the proposed development must achieve sufficient minimum points required in at least three of the categories set out in the following table which allocates points for amenities, affordable housing and the location of the development.

In order for a development to include the additional Tier 2 density provided for within this Bylaw, the proposed development **must achieve at total of 65 or more** points set out in the following table which allocates points for amenities, affordable housing and the location of the development.

Category 1: Site Selection (10 points required) Selected for Tier 1

Amenity		Points
A	The proposed development is located on a brownfield site. This site is a previously rehabilitated brownfield site.	5
B	The proposed development is located on an existing street where the location does not require any new infrastructure such as storms drains, curbs or sidewalks. Located on Nicol street, limited infrastructure work is proposed to remove curb butts along Nicol.	3
C	The proposed development is located within 200m of a park or trail network. Knowles Park is located within 165m	1
D	The proposed development is located within 400m of any of the following: <ul style="list-style-type: none"> • retail store; Alice's located within 129m • daycare facility; Jolly giant Childcare located within 302m • Nanaimo Regional District transit bus stop; Haliburton @ Robins located within 115m Victoria @ Rainer located within 200m • any PRC (Parks, Recreation and Culture)-zoned property; and / or Knowles Park located within 165m • a CS-1 (Community Service One)-zoned property. Bayview elementary School is located within 342m Tillicum Lelum Aboriginal Friendship Centre is located within 350m 	1 point each 5
Total		14 / 20

Category 2: Retention and Restoration of Natural Features (8 points required)

Selected for Tier 1

Amenity		Points
C	The proposed development includes at least 50% retention of natural soils. <i>Minimal site excavation or soil import is proposed for this development</i>	1
E	The proposed development includes street trees. <i>Street Trees are located on both Nicol and Robins</i>	1
F	After re-planting, the proposed development does not result in a net loss of trees with a caliper greater than 6cm. <i>The proposed development will increase the number of trees with a caliper greater than 6cm.</i>	1
G	Post development, the total amount of trees on the property, or adjacent road right-of-way or public space is at least 20% more than the number of trees on the property before development. <i>Prior to development 0 trees The proposed development includes 32 trees Estimated increase is greater than 20%</i>	2
H	Restore a minimum of 50% of the site area (excluding the building footprint) by maintaining pervious surfaces. <i>The pervious surfaces of the proposed development cover 56% of the site area excluding the building footprint. $935 / (2430 - 784.5) = 56\%$</i>	3
I	The development includes permanent educational signage or display(s) regarding the protected or planted plants, trees, animal habitat or other natural features on the site. <i>The proposed development will include signage that will describe the proposed tree species and notable landscape features.</i>	1
Total		9/16

Category 3: Parking and Sustainable Transportation (10 points required)

Amenity		Points
A	<p>Long-term protected bicycle storage is provided and shower and change room facilities are provided to accommodate building employees where applicable.</p> <p>The proposed development includes a secure bicycle storage accessory building and will provide changing and shower facilities for staff.</p>	3
F	<p>The proposed development includes covered and designated parking spaces for a motorized scooter or plug-in for an electronic bicycle or electric scooter, or a designated motorcycle parking space to accommodate the following number of spaces:</p> <ul style="list-style-type: none"> a) multiple-family residential developments: 1 motorized scooter or motorcycle space per 15 dwelling units; and b) non-residential uses: 1 motorized scooter or motorcycle space per 600m² of Gross Floor Area for the first 5000m² plus one space per 1500m² of additional Gross Floor Area; and a) a minimum of one electronic plug-in is provided to accommodate at least one electric scooter or electronic bicycle. <p>The proposed development will include 4 bicycle stalls for electric scooter of bicycles within the bicycle storage building including 2 electronic plug-in for the parked vehicles.</p>	2
H	<p>Parking does not exceed minimum parking requirements within the City's Development Parking Regulations Bylaw.</p>	2
I	<p>The development includes signage or display(s) regarding sustainable transportation alternatives available on site or within the immediate area.</p> <p>The proposed development will include signage that will describe the available bicycle parking.</p>	1
Total		8/20

Category 4: Building Materials (8 points required)

Amenity		Points
A	<p>Wood is the primary building material.</p>	1
C	<p>At least 50% of all wood products used in construction are certified by the Forest Stewardship Council (FSC), the Sustainable Forestry Initiative (SFI), the Canadian Standards Association – Sustainable Forest Management Standard (CSA-SFM), or recognized equivalent.</p> <p>FSC certified wood is used as a standard for BC Housing. At least 50% of wood products will be certified.</p>	3

E	The project developer has submitted a construction and waste management plan that, at a minimum, identifies the materials to be diverted from disposal and whether the materials will be sorted onsite or comingled. BC Housing design guidelines include a waste management plan meeting these requirements. This has been submitted for review by Nanaimo planning.	2
H	The development includes permanent educational signage or display(s) regarding the sustainable use of building materials used during construction of the project. The proposed development will include signage that will describe the use of sustainable building materials including FSC certified wood products.	1
Total		7/16

Category 5: Energy Management (11 points required) Tier 1 selected category

Amenity		Points
B	The proposed development meets at least the requirements of Step 3 of the BC Energy Step Code and exceeds the requirement specified in the Building Bylaw by two steps.* The energy model for the proposed development demonstrates achievement of step 3 of the BC Energy Step Code.	15
D	The development includes permanent education signage or display(s) regarding sustainable energy management practices used onsite. The proposed development will include signage that will describe the energy efficiencies employed in order to achieve step code 3.	1
Total		16

Category 6: Water Management (8 points required)

Amenity		Points
A	At least 50% of the property is covered with a permeable surface area which may include a green roof. At least 56% of the site is covered by a permeable surface.	2
B	The proposed buildings on the property include plumbing features which will use 35% less water than the BC Building Code standard.	2

	The proposed development will include plumbing fixtures that will use at least 35% less water than the building code standard.	
F	A water efficient irrigation system (such as drip) is installed. The proposed development will include a drip irrigation system.	1
G	The proposed development includes a rain garden, cistern, bioswale or storm water retention pond on the property. The proposed development includes a storm water cistern.	2
H	The development site includes permanent educational signage or a display(s) regarding sustainable water management practices used on site. The proposed development will include signage that will describe the sustainable water management practices used on site including the use of permeable surfaces and water efficient landscaping.	1
Total		8/16

Category 7: Social and Cultural Sustainability (10 points required)

Amenity		Points
C	The developer agrees to enter into a Housing Agreement with the City of Nanaimo to ensure that at least 50% of all residential units shall not be stratified or sold independently for at least ten years after the building receives final occupancy. BC Housing has entered into this Housing agreement	3
H	A dedicated garden space is provided to building residents and/or members of the community in which users are given the opportunity to garden. The proposed development includes a dedicated gardening space for the residents of the building.	1
Total		4/21

165 points total

TOTAL - 66
